

SITE PLAN

FOR
SUNSET VIEW, LLC

LOT 3, BLOCK 1901, SHEET 19

TOWNSHIP OF PENNSVILLE – SALEM COUNTY – NEW JERSEY

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KEY MAP
NOT TO SCALE

PREPARED BY:

BOSTON & SEEBERGER P.C.
PROFESSIONAL ENGINEERS, LAND SURVEYORS
AND PLANNERS

5 FERRY ROAD, PENNSVILLE, NEW JERSEY
TELEPHONE: (856) 678-9146, FAX: (856) 678-9148

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PENNSVILLE TOWNSHIP APPROVALS

CHAIRMAN OF TOWNSHIP PLANNING BOARD _____ DATE _____

SECRETARY OF THE PLANNING BOARD _____ DATE _____

ENGINEER OF THE TOWNSHIP PLANNING BOARD _____ DATE _____

VERIFICATION THAT PAYMENT OF MUNICIPAL TAXES OR ASSESSMENTS IS CURRENT.

MUNICIPAL CLERK _____ DATE _____

SALEM COUNTY APPROVALS

CHAIRMAN OF THE COUNTY PLANNING BOARD _____ DATE _____

SECRETARY OF THE COUNTY PLANNING BOARD _____ DATE _____

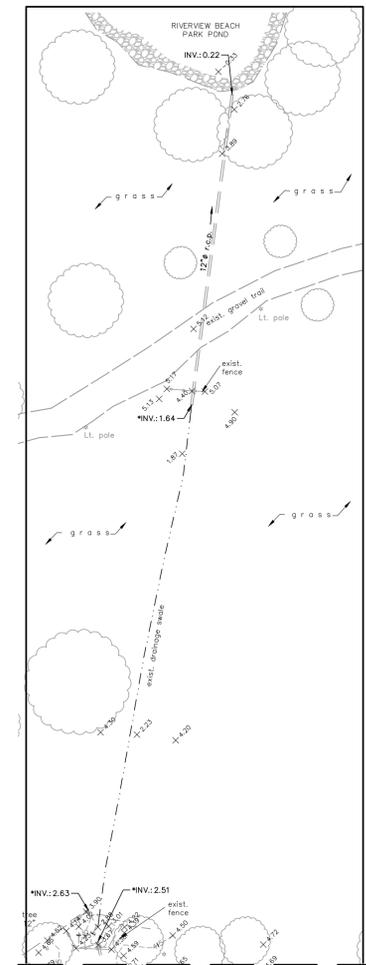
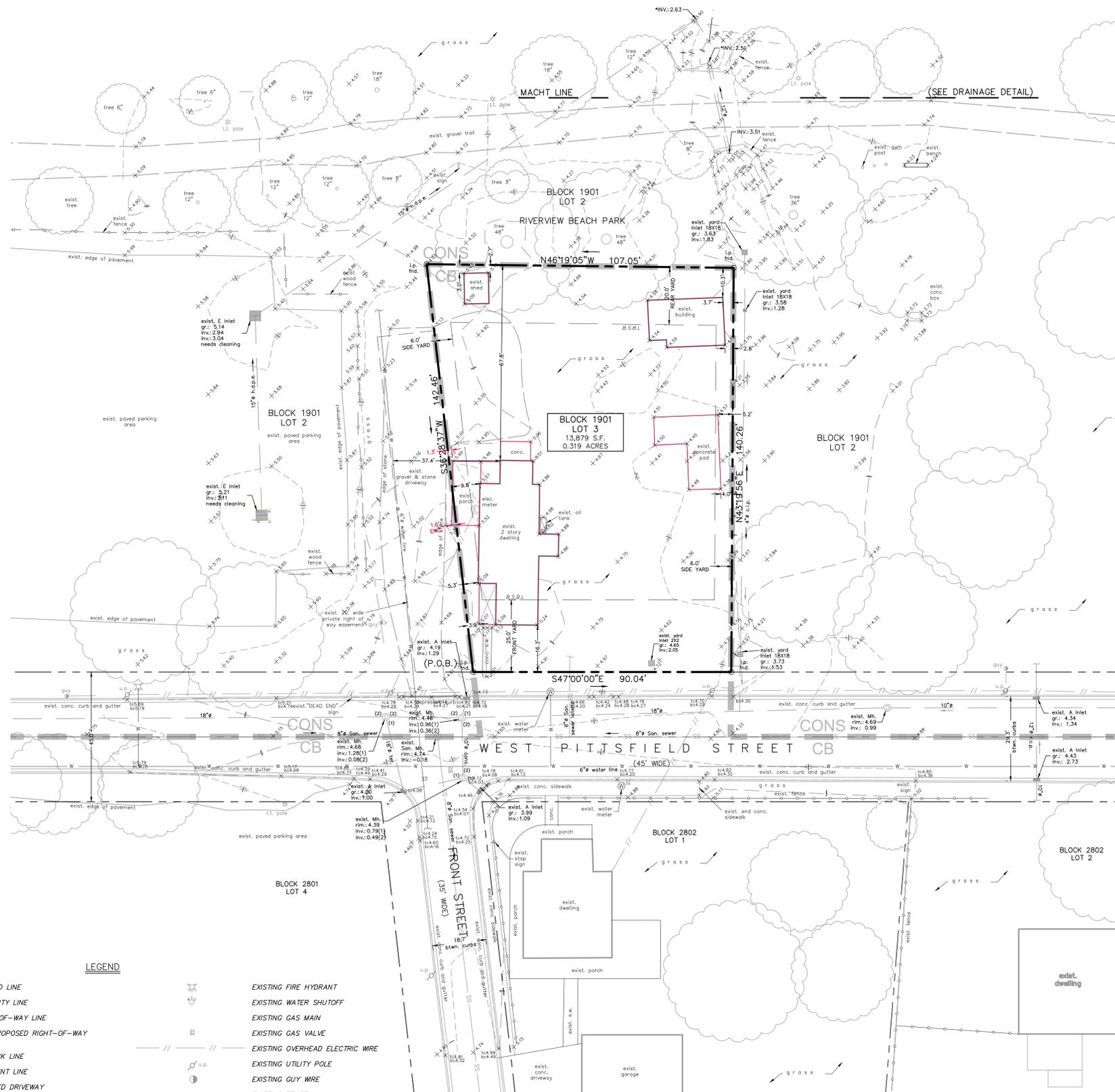
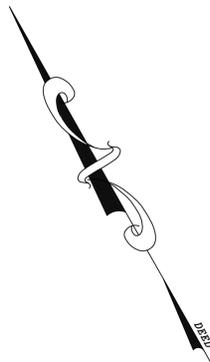
ENGINEER OF THE COUNTY PLANNING BOARD _____ DATE _____

NO.	DESCRIPTION	DATE	DRWN.BY	APPRV.BY	RELEASED

REVISIONS					
TITLE SHEET					
LOT 3		BLOCK 1901		SHEET 19	
SUNSET VIEW, LLC					
PENNSVILLE TOWNSHIP – SALEM COUNTY – NEW JERSEY					
DESIGNED BY:	DEB	PROJECT NO.:			4258
DRAWN BY:	AJV	DRAWING NO.:			TITLE
CHECKED BY:	DEB	SCALE:			NONE
APPROVED BY:	DEB	DATE:			2-14-20

ROBERT J. SEEBERGER, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE02786200
Robert J. Seeberger DATE 2-14-20

DALE E. BOSTON, P.L.S. & P.P.
PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 32648
PROFESSIONAL PLANNER, N.J. LIC. NO. 4381
Dale E. Boston DATE 2/14/20



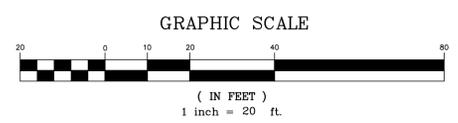
DRAINAGE DETAIL
SCALE: 1" = 40'
* SILT BUILT AT PIPES

OWNER & APPLICANT:
SUNSET VIEW, LLC
144 EAST PITTSFIELD STREET
PENNSVILLE, NJ 08070
(609) 420-6071

- GENERAL NOTES**
1. Being Lot 3, Block 1901 as shown on sheet 19 of Pennsville Township Tax Assessment Map, Salem County.
 2. Deed Reference Book 4530, Page 1634.
 3. This survey has been performed without the benefit of a complete Title Report. Boston & Seeberger, P.C. and/or its employees are not liable for errors or omissions resulting from this condition.
 4. Zone District: "CB" Central Business District
 5. Being no. 46 West Pittsfield Street.
 6. Flood zone AE BFE 9

LEGEND

	TRACT OUTBOUND LINE		EXISTING FIRE HYDRANT
	EXISTING PROPERTY LINE		EXISTING WATER SHUTOFF
	EXISTING RIGHT-OF-WAY LINE		EXISTING GAS MAIN
	EXISTING AND PROPOSED RIGHT-OF-WAY CENTERLINE		EXISTING GAS VALVE
	BUILDING SETBACK LINE (B.S.L.)		EXISTING OVERHEAD ELECTRIC WIRE
	EXISTING EASEMENT LINE		EXISTING UTILITY POLE
	EXISTING UNPAVED DRIVEWAY		EXISTING GUY WIRE
	EXISTING CURB		EXISTING FENCE
	EXISTING EDGE OF PAVEMENT		EXISTING TREELINE
	EXISTING DRAINAGE DITCH		EXISTING BUILDING
	EXISTING CONTOUR LINE (FEET)		POTABLE WATER WELL
	EXISTING SPOT ELEVATION (FEET)		LIMIT OF DISTURBANCE
	EXISTING TOP AND BOTTOM OF CURB ELEVATION (FEET)		ZONING LINE
	EXISTING STORM SEWER, INLET & MANHOLE		POINT OF BEGINNING
	EXISTING HEADWALL		CONCRETE MONUMENT FOUND
	EXISTING SANITARY SEWER & MANHOLE		IRON PIPE FOUND
	EXISTING WATER MAIN		DRILL HOLE FOUND
	EXISTING WATER VALVE		REBAR & CAP FOUND
			REBAR & CAP TO BE SET
			TAX MAP BLOCK AND LOT NO.



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REVISIONS					

EXISTING CONDITION PLAN

LOT 3 BLOCK 1901 SHEET 19

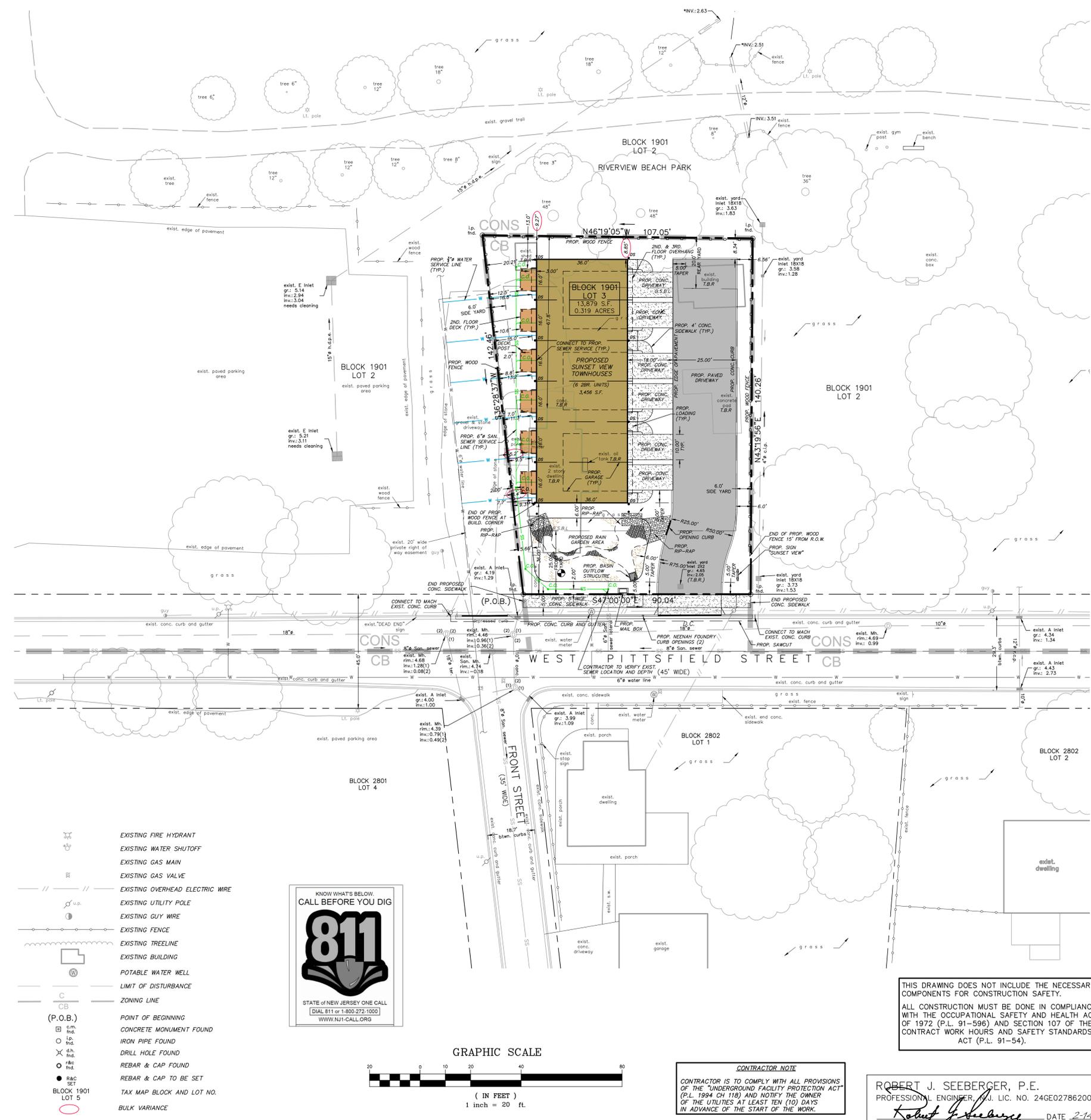
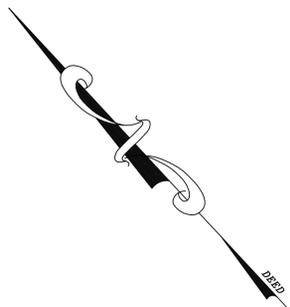
SUNSET VIEW, LLC

PENNSVILLE TOWNSHIP -- SALEM COUNTY -- NEW JERSEY

DESIGNED BY: D.E.B.		PROJECT NO.: 4258
DRAWN BY: M.J.V.	BOSTON & SEEBERGER	DRAWING NO.: EXCOND
CHECKED BY: D.E.B.	PROFESSIONAL ENGINEERS, LAND SURVEYORS & PLANNERS	SCALE: 1" = 20'
APPROVED BY: D.E.B.	5 FERRY ROAD, PENNSVILLE, NEW JERSEY 08070 TELEPHONE: (856) 678-9146, FAX: (856) 678-9148	DATE: 2-14-20

DALE E. BOSTON, P.L.S. & P.P.
PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 32648
PROFESSIONAL PLANNER, N.J. LIC. NO. 4381

DATE 2/14/20 SHEET 3 OF 9



OWNER & APPLICANT:
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 144 EAST PITTSFIELD STREET
 PENNSVILLE, NJ 08070
 (609) 420-6071

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- Being no. 46 West Pittsfield Street.
- Flood zone AE BFE 9

ZONING REQUIREMENTS
 DISTRICT: "CB" CENTRAL BUSINESS ZONING DISTRICT
 PROPOSED USE:
 MINIMUM LOT STANDARDS - PRINCIPAL USES

	REQUIRED	EXISTING	PROPOSED
AREA:	4,000 S.F.	13,879 S.F.	13,879 S.F.
FRONTAGE:	30'	90.04'	90.04'
WIDTH:	30'	98.5'	98.5'
DEPTH:	120'	140.7'	140.7'
MINIMUM YARD DIMENSIONS			
FRONT: (PRINCIPAL)	25'	16.3'	36.0'
(ACCESSORY)	25'	16.3'	40.0'
SIDE: (PRINCIPAL)	6'	5.3'	7.7'
(ACCESSORY)	6'	1.6'	3.4'
REAR: (PRINCIPAL)	20'	67.8'	8.25'
(ACCESSORY)	6'	2.7, 10.3'	13.3'
MAXIMUM HEIGHT BUILDING			
PRINCIPAL USE	45' MAX.	<45' MAX.	37.7'
ACCESSORY	15' MAX.	<15' MAX.	N/A
NUMBER OF STRUCTURES			
PRINCIPAL	1	1	1 (6 UNITS)
ACCESSORY	BASED ON COVERAGE	3	6 (DECKS)
STORIES			
PRINCIPAL	2.5	2	2.5
ACCESSORY	1	1	N/A
STRUCTURE COVERAGE			
PRINCIPAL	43%	8.3%	25%
ACCESSORY	3% OR	5.2%	2.4%/334 S.F.
IMPERVIOUS MATERIAL INCLUDES BUILDINGS	70%	17.6%	60.7%
PARKING			
REQUIRED	REQUIRED	PROPOSED	
R.S.I.S.	2.3	2	
RESIDENTIAL 5.4 (f)	350 s.f.	460.8 s.f.	
SIGNAGE			
REQUIRED	EXISTING	PROPOSED	
HEIGHT	10' MAX.	N/A	3'
AREA	9 S.F.	N/A	9 S.F.

REQUESTED WAIVERS:

SCHEDULE R

- CROSS SECTIONS AND CENTERLINE PROFILES STREET AND WATER COURSES.
- PRELIMINARY PROFILES OF PRELIMINARY UTILITY LAYOUTS.
- E.I.S.

SCHEDULE BB E.I.S.

REQUESTED VARIANCES

"C" BULK VARIANCES

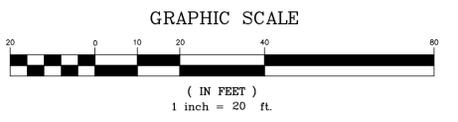
5.10 F1.
 (h) ACCESSORY SIDE YARD (DECK)
 (i) REAR YARD PRINCIPAL STRUCTURE.
 (n) NUMBER OF PRINCIPAL STRUCTURES.*
 (p) STORES PRINCIPAL STRUCTURE.
 (s) STRUCTURE COVERAGE.*

* SUBSUMED WITH USE VARIANCES IF GRANTED.

d1 USE VARIANCE.

LEGEND

	TRACT OUTBOUND LINE		EXISTING FIRE HYDRANT
	EXISTING PROPERTY LINE		EXISTING WATER SHUT-OFF
	EXISTING RIGHT-OF-WAY LINE		EXISTING GAS MAIN
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	EXISTING SANITARY SEWER & MANHOLE		IRON PIPE FOUND
	PROPOSED SANITARY SEWER LATERAL		DRILL HOLE FOUND
	EXISTING WATER MAIN		REBAR & CAP FOUND
	EXISTING WATER VALVE		REBAR & CAP TO BE SET
			TAX MAP BLOCK AND LOT NO.
			BULK VARIANCE



THIS DRAWING DOES NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.

ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1972 (P.L. 91-596) AND SECTION 107 OF THE CONTRACT WORK HOURS AND SAFETY STANDARDS ACT (P.L. 91-54).

CONTRACTOR NOTE

CONTRACTOR IS TO COMPLY WITH ALL PROVISIONS OF THE "UNDERGROUND FACILITY PROTECTION ACT" (P.L. 1994 CH 118) AND NOTIFY THE OWNER OF THE UTILITIES AT LEAST TEN (10) DAYS IN ADVANCE OF THE START OF THE WORK.

ROBERT J. SEEBERGER, P.E.
 PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE02786200
 DATE 2-14-20

NO.	DESCRIPTION	DATE	DRWN BY	APPRV BY	RELEASED
REVISIONS					

SITE AND UTILITY PLAN

LOT 3 BLOCK 1901 SHEET 19

SUNSET VIEW, LLC

PENNSVILLE TOWNSHIP -- SALEM COUNTY -- NEW JERSEY

BOSTON & SEEBERGER

PROFESSIONAL ENGINEERS, LAND SURVEYORS & PLANNERS
 5 FERRY ROAD, PENNSVILLE, NEW JERSEY 08070
 TELEPHONE: (856) 678-9146, FAX: (856) 678-9148

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DESIGNED BY: D.E.B. PROJECT NO: 4258
 DRAWN BY: M.J.V. DRAWING NO: SITE
 CHECKED BY: D.E.B. SCALE: 1" = 20'
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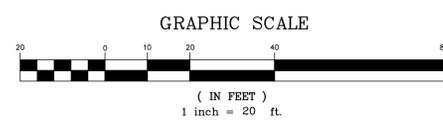
DATE 2/14/20 SHEET 4 OF 9

CONSTRUCTION NOTES

- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PREFERENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.
- SITE AND ROAD IMPROVEMENTS CONSTRUCTION TO BE IN ACCORDANCE WITH THE NEW JERSEY STATE HIGHWAY STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION, 2007 (LATEST ADDENDUM).
- SITE CONSTRUCTION TO BE IN ACCORDANCE WITH STANDARDS SET FORTH IN THE ORDINANCES OF THE TOWNSHIP OF PENNSVILLE AND COUNTY OF SALEM AND N.J.D.O.T.
- NO STRUCTURES TO BE CONSTRUCTED WITHIN THE SIGHT TRIANGLE EASEMENTS, ANY EXISTING STRUCTURES TO BE REMOVED AND EXISTING VEGETATION TO BE THINNED TO PROVIDE VISIBILITY AS REQUIRED BY TOWNSHIP ENGINEER.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE TOWNSHIP OF PENNSVILLE, COUNTY OF SALEM AND THE LOCAL UTILITY COMPANIES.
- SANITARY SEWERS SHALL BE SDR 35 AND FITTINGS SHALL CONFORM TO THE REQUIREMENTS OF THE A.S.T.M. SPECIFICATIONS AND CONSTRUCTED UTILIZING A MINIMUM OF CLASS TYPE 1 BEDDING.
- WHENEVER THE TRENCH BOTTOM DOES NOT HAVE SUFFICIENT BEARING CAPACITY TO SUSTAIN THE WEIGHT OF THE PIPE, THE TRENCH WILL BE OVER EXCAVATED AND STABILIZED WITH A LAYER OF CRUSHED STONE.
- LATERAL CONNECTIONS AT SANITARY MANHOLES ARE PROHIBITED.
- ALL DISTURBED AREAS WITHIN THE ROAD RIGHT-OF-WAY SHALL BE STABILIZED AS SPECIFIED.
- UTILITY LOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY LOCATIONS IN COOPERATION WITH RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- WATER AND SANITARY CONNECTIONS ARE TO BE IN ACCORDANCE WITH LOCAL REGULATIONS.
- ALL GENERAL CONSTRUCTION MATERIAL, TESTING AND METHODS OF INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE TOWNSHIP ENGINEER AND THE TOWNSHIP OF PENNSVILLE.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWNSHIP, COUNTY, AND STATE, AND SHALL PAY ALL FEES, INCLUDING THE INSPECTION FEES, AND IN GENERAL SHALL PROCURE ALL REQUIRED PERMITS, LICENSES, INSPECTIONS, PAY ALL CHARGES AND FEES, AND GIVE NOTICES NECESSARY FOR AND INCIDENTAL TO THE DUE AND LAWFUL PROSECUTION OF THE PROJECT. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO PROVIDE AS-BUILT DRAWINGS OF THE CONSTRUCTION.
- NO MATERIALS SHALL BE PLACED OR ANY DISTURBANCE PERMITTED BEYOND THE PROPERTY LINE OR RIGHT-OF-WAY, WITHOUT WRITTEN PERMISSION OF THE PROPERTY OWNER DIRECTLY INVOLVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING PAVING, TOPSOIL, FERTILIZING AND SEEDING ALL AREAS DISTURBED BY HIS ACTIVITIES.
- INSPECTION OF, OR FAILURE TO INSPECT, ANY MATERIALS OR WORKMANSHIP SHALL IN NO WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS AND LAWS.
- ALL UNDERGROUND CABLE TV, ELECTRIC, GAS SERVICE AND TELEPHONE LINES ARE TO BE DESIGNED BY AND SUBMITTED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO FINAL APPROVAL.
- PAVEMENT SECTIONS TO BE VERIFIED BY FIELD CALIFORNIA BEARING RATIO TESTS (CBR) TO BE PERFORMED BY CONTRACTOR.
- ALL CONCRETE FOR SIDEWALKS AND CURBS WILL BE A MIX TO ENSURE A 28 DAY STRENGTH OF 5,000 PSI & 4,500 PSI RESPECTIVELY AND WILL HAVE A MINIMUM AIR CONTENT OF 5%.
- SEWERS AND WATER MAINS SHALL BE SEPARATED A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY, IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18" BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION, AS MAY BE APPROVED IN GENERAL. THE VERTICAL SEPARATION AT A CROSSING OF SEWER AND WATER LINE SHALL BE AT LEAST 18 INCHES. THE SEWER LINE SHALL BE A 3" COVER, WHERE THIS IS NOT POSSIBLE THE SEWER SHALL BE CONSTRUCTED OF CAST IRON PIPE, USING MECHANICAL OR SLIP-ON JOINTS, OR HOT POURED LEAD JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING OR ENCASED IN CONCRETE OR OTHER SUITABLE PROTECTION SHALL BE PROVIDED.
- THE OWNER SHALL COMPLETE AND SUBMIT AN ANNUAL RECYCLING REPORT TO THE TOWNSHIP RECYCLING COORDINATOR.
- CURB TIES SHOWN ARE TO FACE OF CURB UNLESS NOTED.
- THE OWNER SHALL SCHEDULE TRASH PICKUP TO BE DURING NORMAL BUSINESS HOURS FOR THE OFFICE RECEPTICALS.
- THE CONTRACTOR SHALL REFER TO FINAL ARCHITECTURAL PLANS FOR ALL UTILITIES SERVICES (WATER, SEWER, GAS, ELECTRIC AND OTHERS) CONNECTIONS AT BUILDING LINE.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONTACTS. THE CONTRACTOR SHALL NOTIFY THE UNDERLIER ENGINEER IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THIS PLAN IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. BOSTON & SEEBERGER HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES, RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- ALL DISTURBED AREAS TO BE TOPSOILED AND SEEDED UPON COMPLETION OF SITE GRADING.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- PORT-A-POTTIES ARE TO BE PROVIDED DURING CONSTRUCTION.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.
- CONTRACTOR TO NOTIFY SELF STORAGE TENANTS ON ROAD CLOSURE SCHEDULE PRIOR TO PAVEMENT REMOVAL.
- CONTRACTOR TO VERIFY REMOVAL OF ALL RESTRICTIVE SOILS PRIOR TO SAND INSTALLATION.
- THE BOTTOM OF THE BASINS SHALL BE PROTECTED FROM SOIL COMPACTION, IF COMPACT OCCURS THE BASIN BOTTOM SHALL BE FILLED. INFILTRATION RATES SHALL BE OBTAINED PRIOR TO REPLACEMENT OF THE SAND.
- EXISTING INLETS AND PIPES ON ORCHARD AVENUE TO BE CLEANED PRIOR TO COMPLETION OF CONSTRUCTION.

LEGEND

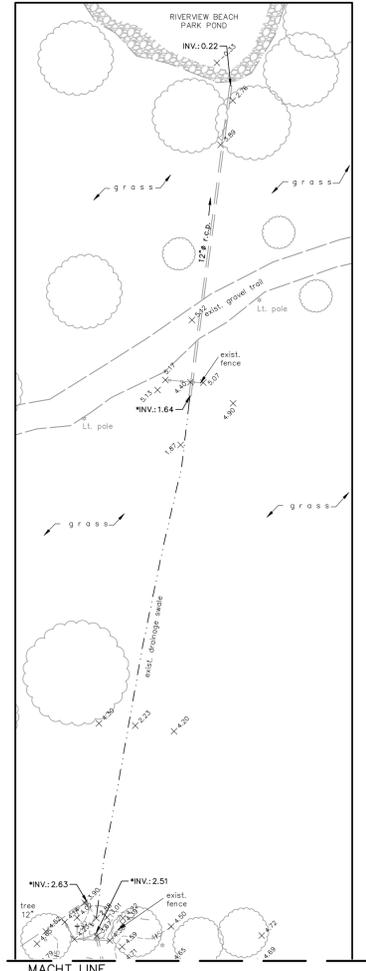
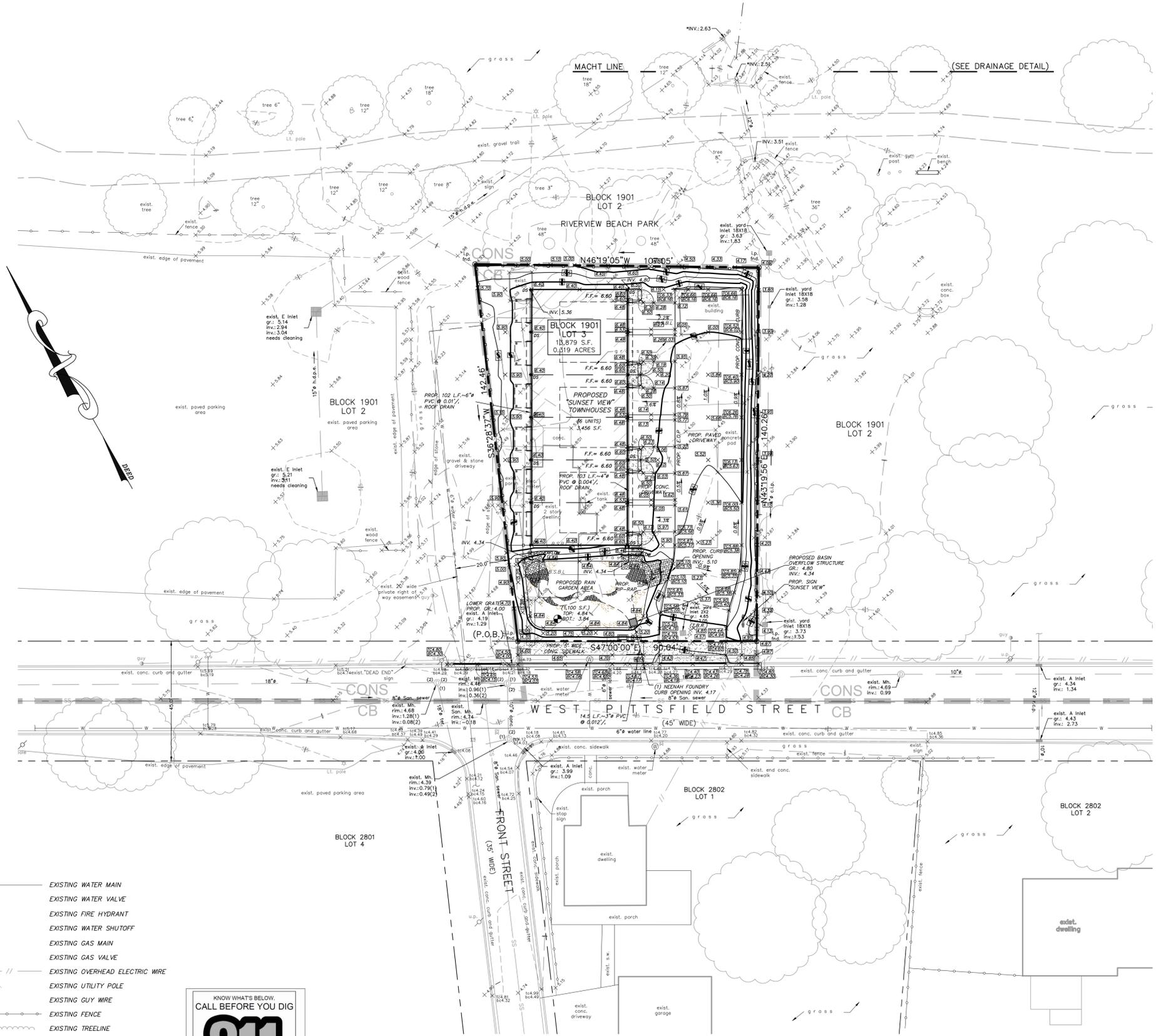
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DRAINAGE AND GRADING PLAN
 LOT 3 BLOCK 1901 SHEET 19

SUNSET VIEW, LLC

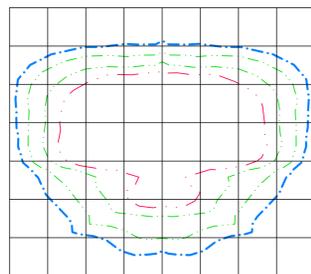
PENNSVILLE TOWNSHIP -- SALEM COUNTY -- NEW JERSEY

DESIGNED BY: D.E.B. DRAWN BY: M.J.V. CHECKED BY: D.E.B. APPROVED BY: D.E.B.	 BOSTON & SEEBERGER PROFESSIONAL ENGINEERS, LAND SURVEYORS & PLANNERS 5 FERRY ROAD, PENNSVILLE, NEW JERSEY 08070 TELEPHONE: (856) 678-9146, FAX: (856) 678-9148
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DALE E. BOSTON, P.L.S. & P.P. PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 32648 PROFESSIONAL PLANNER, N.J. LIC. NO. 4381	PROJECT NO.: 4258 DRAWING NO.: DRGRND SCALE: 1" = 20' DATE: 2-14-20 SHEET 5 OF 9
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POLE MOUNTED LIGHT



0.25 Fc.
0.5 Fc.
1.0 Fc.
2.0 Fc.

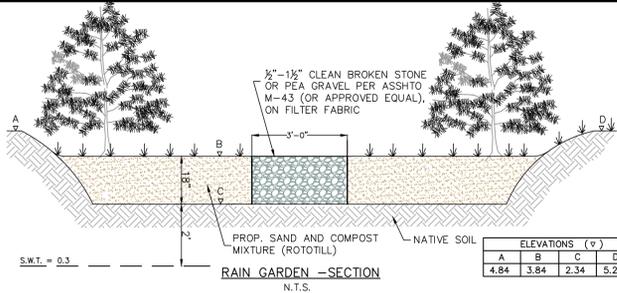
PHOTOMETRICS

AMERICAN ELECTRIC LIGHTING
CATALOG NO. AVPCL2 20LEDE10 XXXX 4K R3
VALIANT LED FULL CUTOFF WITH 20 LED, 4K WITH R3
DISTRIBUTION DRIVEN AT 1050mA,
72 WATTS
LUMENS 6824 PER LAMP.

POLE MOUNTED LIGHT DETAIL
THREE (3) REQUIRED

LEGEND

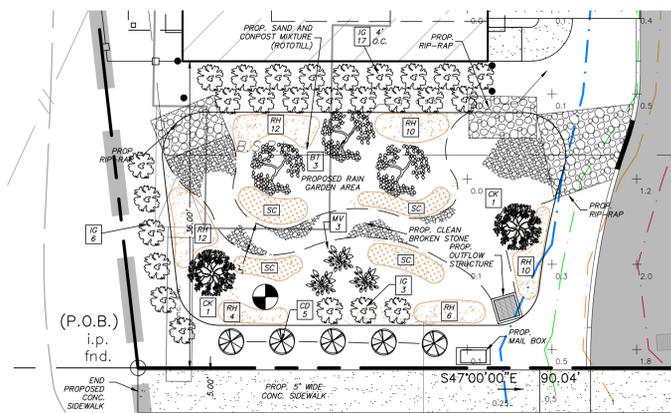
- TRACT OUTBOUND LINE
EXISTING PROPERTY LINE
EXISTING RIGHT-OF-WAY LINE
EXISTING AND PROPOSED RIGHT-OF-WAY CENTERLINE
B.S.B.L. BUILDING SETBACK LINE
EXISTING EASEMENT LINE
EXISTING UNPAVED DRIVEWAY
EXISTING CURB
EXISTING EDGE OF PAVEMENT
EXISTING DRAINAGE DITCH
EXISTING STORM SEWER, INLET & MANHOLE
EXISTING HEADWALL
EXISTING SANITARY SEWER & MANHOLE
EXISTING WATER MAIN
EXISTING WATER VALVE
EXISTING FIRE HYDRANT
EXISTING WATER SHUTOFF
EXISTING GAS MAIN
EXISTING GAS VALVE
EXISTING OVERHEAD ELECTRIC WIRE
EXISTING UTILITY POLE
EXISTING GUY WIRE
EXISTING FENCE
EXISTING TREELINE
EXISTING BUILDING
POTABLE WATER WELL
LIMIT OF DISTURBANCE
ZONING LINE
(P.O.B.) POINT OF BEGINNING
CONCRETE MONUMENT FOUND
IRON PIPE FOUND
DRILL HOLE FOUND
REBAR & CAP FOUND
REBAR & CAP TO BE SET
TAX MAP BLOCK AND LOT NO.



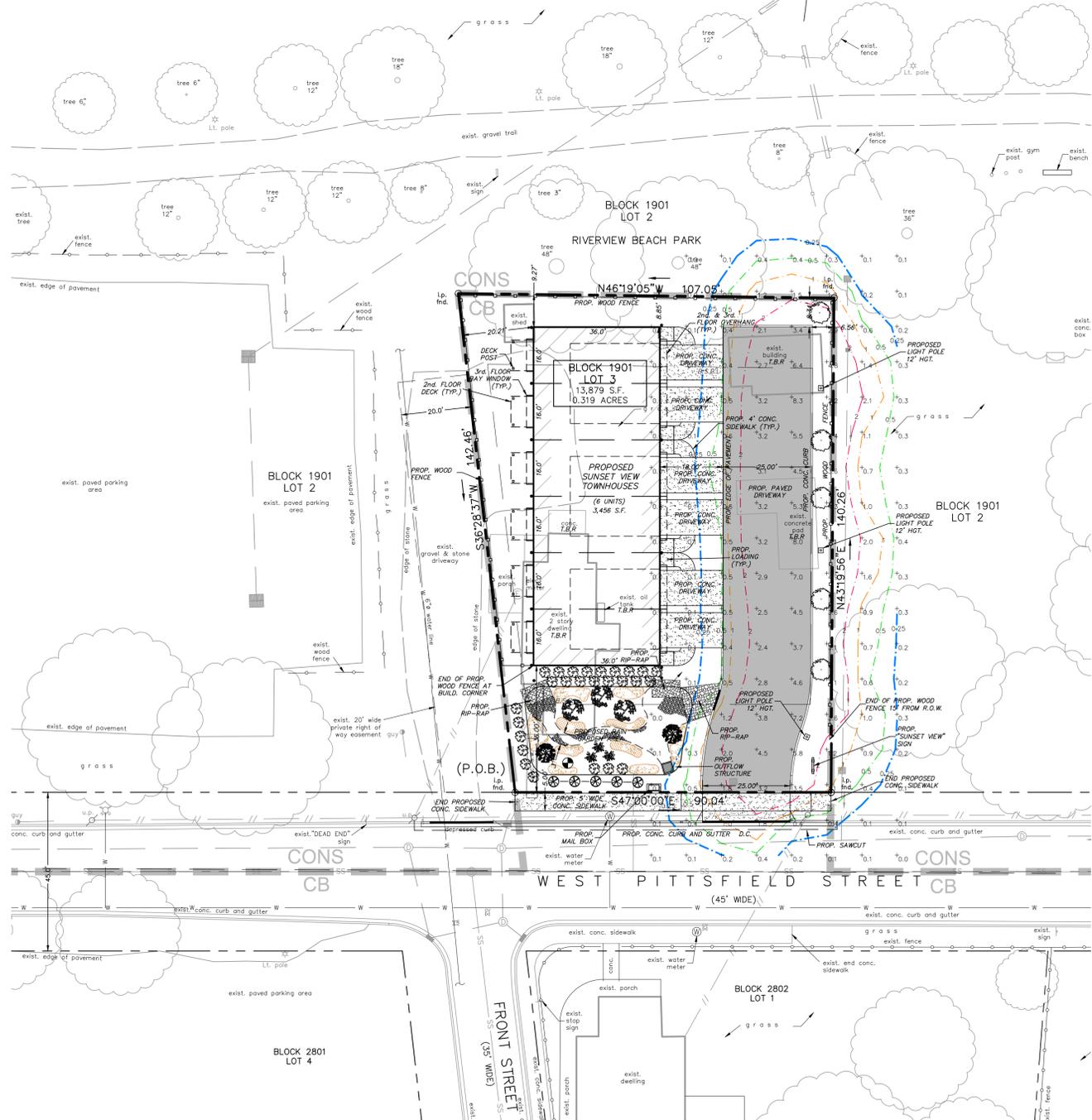
ELEVATIONS (ft) table with columns A, B, C, D and values 4.84, 3.84, 2.34, 5.20.

PLANTING LIST

Table with columns: SYMBOL, BOTANICAL NAME, COMMON NAME, SIZE, QUANTITY. Lists plants like Red Maple, River Birch, etc.



RAIN GARDEN DETAIL
SCALE: 1"=10'

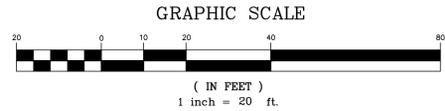


GENERAL NOTES

- 1. SITE LIGHTING TO BE TIMER OPERATED TO TURNOFF BETWEEN THE HOURS OF 10:00 PM TO 5:00 AM, EXCEPT FOR SECURITY LIGHTING.
2. ALL SHRUBS TO BE INSTALLED IN MULCHED BED.
3. DECIDUOUS TREES SHALL HAVE A 1 1/2"-2" CALIPER AT TIME OF PLANTING. SIZE OF EVERGREENS AND SHRUBS SHALL BE ALLOWED TO VARY DEPENDING ON SETTING AND TYPE OF SHRUB.
4. ONLY NURSERY-GROWN PLANT MATERIAL SHALL BE ACCEPTABLE.
5. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL PLANT MATERIALS ARE IN GOOD CONDITION AND FREE FROM INSECT AND DISEASE AT THE TIME OF PLANTING.
6. ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY:
THE AMERICAN ASSOCIATION OF NURSERMEN
230 SOUTHERN BUILDING
WASHINGTON, D.C. 20005
(202) 737-4060
7. ALL PLANT MATERIAL NOT SURVIVING FOR A PERIOD OF TWO (2) YEARS SHALL BE REPLACED WITH THE SAME OR EQUIVALENT SIZE SPECIES.
8. DEAD OR DYING PLANTS SHALL BE REPLACED BY THE DEVELOPER DURING THE FOLLOWING PLANTING SEASON.
9. FOUR (4) INCHES OF TOP SOIL SHALL REMAIN ON ALL DISTURBED AREAS.
10. SEE ARCHITECTURAL PLANS FOR ADDITIONAL LIGHTING OF FRONT AREA.
11. REPLACE MULCH IN SPRING AND FALL AS REQUIRED.
12. INSPECT SAND AND SOIL CONTAMINATION UPON COMPLETION OF SITE GRADING.
13. ALL NEW DISTURBED AREAS TO BE RESTORED WITH SOIL.

BASIN MAINTENANCE NOTES

- 1. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE RAIN GARDEN AND STRUCTURES.
2. ADD ONE (1) INCH OF MULCH TO RAIN GARDEN IN SPRING AND FALL.
3. REPLACE DEAD PLANTS AS REQUIRED.
4. INSPECT SAND FOR SILT INFILTRATION AND REPLACE IF CONTAMINATED OR EVIDENCE OF PONDING.
5. FOLLOW PROCEDURE AS OUTLINED IN BASIN MAINTENANCE PLAN



THIS DRAWING DOES NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1972 (P.L. 91-596) AND SECTION 107 OF THE CONTRACT WORK HOURS AND SAFETY STANDARDS ACT (P.L. 91-54).



ROBERT J. SEEBERGER, P.E. PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE02786200

CONTRACTOR NOTE: CONTRACTOR IS TO COMPLY WITH ALL PROVISIONS OF THE "UNDERGROUND FACILITY PROTECTION ACT" (P.L. 1994 CH 118) AND NOTIFY THE OWNER OF THE UTILITIES AT LEAST TEN (10) DAYS IN ADVANCE OF THE START OF THE WORK.

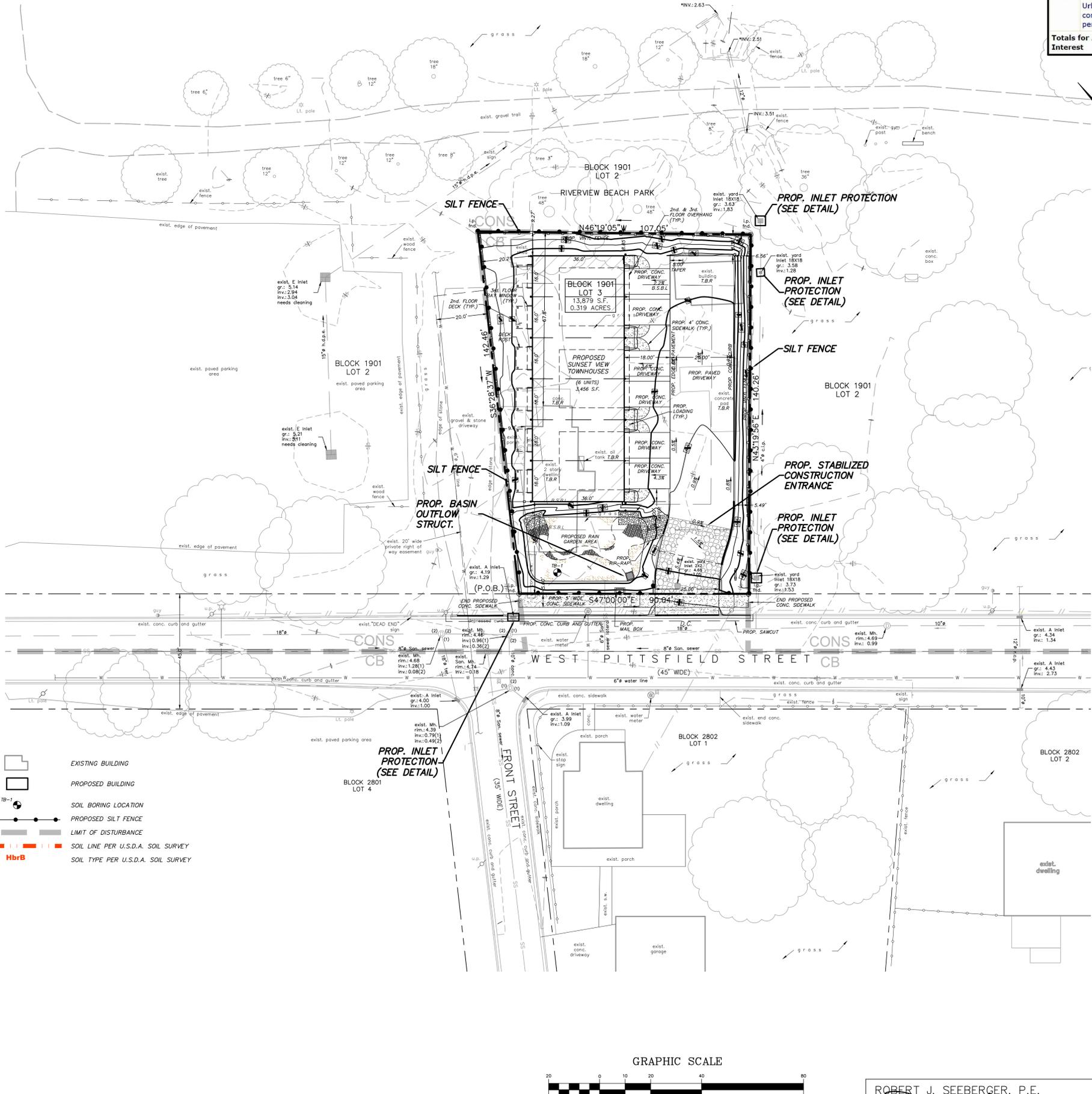
Table with columns: NO., DESCRIPTION, DATE, DRWN. BY, APPRV. BY, RELEASED. Includes project info for SunSet View, LLC and drawing details.

STATEMENTS

- All applicable erosion and sediment control practices shall be in place prior to any grading operation and/or installation of proposed structures or utilities.
- Soil erosion and sediment control practices on the plan shall be constructed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey.
- All applicable erosion and sediment control practices shall be left in place until construction is completed and/or the area is stabilized.
- Any disturbed area that will be left exposed for more than sixty (60) days and not subject to construction traffic shall immediately receive a temporary seeding and fertilization in accordance with the New Jersey Standards and application rates shall be included in the narrative. If the season prohibits temporary seeding, the disturbed areas will be mulched with soil hay or equivalent and anchored in accordance with the New Jersey Standards (i.e. peg and twine, mulch matting or liquid mulch binder).
- All critical areas subject to erosion will receive a temporary seeding in combination with straw mulch at a rate of 2 tons per acre, according to the New Jersey Standards immediately following rough grading.
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- All soil erosion and sedimentation structures will be inspected and maintained on a regular basis and after every storm event.
- Soil stockpiles are not to be located within fifty (50) feet of a floodplain, slope, roadway or drainage facility. The base of all stockpiles should be protected by a hay bale barrier or sediment fence. Proposed locations must be delineated on the plan.
- A crushed stone, tire cleaning pad will be installed wherever a construction entrance exists. The rip-rap pad must be 100 feet in length and the stone must be 1.5" - 4" in size, placed 12" thick and the full width of the entrance. It should be underlain with a suitable synthetic filter fabric and maintained. (The structure must be delineated and detail included on the plans.)
- If a stone construction entrance is to be used as an exit on to a major highway, a thirty (30) foot paved transition area shall be installed.
- All driveways must be stabilized with 2 1/2" crushed stone or subbase prior to individual lot construction.
- Paved roadways must be kept clean at all times.
- All catch basin inlets will be protected during construction (filter details appear on plan).
- All storm drainage outlets will be stabilized, as required, before the discharge points become operational.
- All dewatering operations must discharge directly into a sediment filtration device. The sediment filter must be capable of filtering the sediment and be placed so as not to cause erosion of the downstream area. Details and maintenance of the device must be included on the plans. Field placement and use of the structure must be approved by the District Erosion Control Inspector prior to commencement of dewatering activities.
- The Cumberland/Salem Soil Conservation District shall be notified, in writing, 72 hours prior to any land disturbance.
- Topsoil a standard uniform application of 5 inches of clean topsoil is recommended. Soils having a pH of 4.0 or less or containing iron sulfide must be covered with a minimum of 12 inches of soil having a pH of 5.0 or more before seedbed preparation.
- It shall be the responsibility of the developer to provide confirmation of lime, fertilizer and seed application rates at the request of the Cumberland/Salem Soil Conservation District.
- N.J.S.A. 4:24-39, et seq., requires that no Certificate of Occupancy be issued before all the provisions of the certified soil erosion and sediment control plan have been complied with for permanent measures. All site work for the project must be completed prior to the District issuing a report of compliance as a prerequisite to the issuance of a Certificate of Occupancy by the municipality.
- N.J.S.A. 4:24-39, et seq., requires that upon permanent site stabilization and completion of the contractor shall apply to the Soil Conservation District for a final compliance inspection to check that all the provisions of the certified soil erosion and sediment control plan have been complied with for permanent measures.
- Offsite sediment disturbance may require additional control measures to be determined by the Erosion Control Inspector.
- A copy of the certified Soil Erosion and Sediment Control Plan must be maintained on the project site during construction.
- Any conveyance of this project prior to its completion will transfer full responsibility for compliance with the certified plan to all subsequent owners.
- Immediately after the completion of stripping and stockpiling of topsoil, seed the stockpile with annual rye grass. Stabilize topsoil stockpile with straw mulch for protection if the season does not permit the application and establishment of temporary seeding.
- Any changes to the site plan will require the submission of a revised Soil Erosion and Sediment Control Plan to the Cumberland/Salem Soil Conservation District. The revised plan must be in accordance with the current New Jersey Standards for Soil Erosion and Sediment Control.
- Maximum side slopes of all exposed surfaces shall not be constructed steeper than 3:1 unless otherwise approved by the District.
- The Soil Erosion Inspector may require additional soil erosion measures to be installed, as directed by the District Inspector.
- The sand and compost layer within the rain garden to be installed AFTER all contributing drainage areas have been permanently stabilized.

LEGEND

- TRACT OUTBOUND LINE
 - EXISTING PROPERTY LINE
 - EXISTING RIGHT-OF-WAY LINE
 - EXISTING RIGHT-OF-WAY CENTERLINE
 - EXISTING EASEMENT LINE
 - EXISTING CURB
 - PROPOSED CONC. VERTICAL CURB
 - EXISTING EDGE OF PAVEMENT
 - PROPOSED EDGE OF PAVEMENT
 - EXISTING CONTOUR LINE (FEET)
 - EXISTING SPOT ELEVATION (FEET)
 - EXISTING TOP AND BOTTOM OF CURB ELEVATION (FEET)
 - PROPOSED CONTOUR LINE (FEET)
 - EXISTING STORM SEWER, INLET & MANHOLE
 - EXISTING SANITARY SEWER & MANHOLE
 - EXISTING WATER MAIN
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING GAS MAIN
 - EXISTING GAS VALVE
 - EXISTING OVERHEAD ELECTRIC WIRE
 - EXISTING UTILITY POLE
 - EXISTING GUY WIRE
 - EXISTING FENCE
 - EXISTING TREELINE
 - PROPOSED CLEARING LIMIT
- EXISTING BUILDING
 - PROPOSED BUILDING
 - SOIL BORING LOCATION
 - PROPOSED SILT FENCE
 - LIMIT OF DISTURBANCE
 - SOIL LINE PER U.S.D.A. SOIL SURVEY
 - SOIL TYPE PER U.S.D.A. SOIL SURVEY



Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
HbrB	Hammonton-Urban land complex, 0 to 2 percent slopes	0.4	100.0%
Totals for Area of Interest		0.4	100.0%



TEST BORING No. 1

Soil Boring Number: Boring_1 Method: Auger ESHWT: N.E.
 Mapped Soil Unit: Hammonton-Urban land complex Ground Elev: 5.00

Depth (Inches)	Description
0-15	10YR 3/4 Sandy Loam
15-30	10YR 5/6 Coarse Sand
30-64	10YR 4/4 Loamy Sand

Depth to Estimated Seasonal High Water Table (ESHWT): 56"
 Depth to Groundwater: 56 inches

CONTRACTOR NOTE
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NO.	DESCRIPTION	DATE	DRWN BY	APPRV BY	RELEASED
REVISIONS					

SOIL EROSION AND SEDIMENT CONTROL PLAN

LOT 3 BLOCK 1901 SHEET 19

SUNSET VIEW, LLC

PENNSVILLE TOWNSHIP -- SALEM COUNTY -- NEW JERSEY

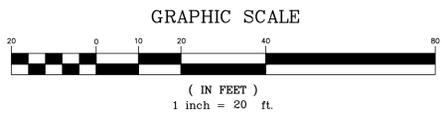
DESIGNED BY: D.E.B.	<p>BOSTON SEEBERGER PROFESSIONAL ENGINEERS, LAND SURVEYORS & PLANNERS 5 FERRY ROAD, PENNSVILLE, NEW JERSEY 08070 TELEPHONE: (856) 678-9146, FAX: (856) 678-9148</p>	PROJECT NO.: 4258
DRAWN BY: M.J.V.		DRAWING NO.: SEC
CHECKED BY: D.E.B.		SCALE: 1" = 20'
APPROVED BY: D.E.B.		DATE: 2-14-20

DALE E. BOSTON, P.L.S. & P.P.
 PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 32648
 PROFESSIONAL PLANNER, N.J. LIC. NO. 4381

DATE 2/14/20

ROBERT J. SEEBERGER, P.E.
 PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE02786200

DATE 2-14-20



SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
 - ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
 - PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
 - ALL WORK TO BE DONE IN ACCORDANCE WITH THE STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
 - A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING.
 - IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E.: STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.*
 - ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E.: SLOPES GREATER THAN 3:1).*
 - TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 5'0" X 3'0" X 1" PAD OF 1 1/2 TO 2 INCH STONE, AT ALL CONSTRUCTION DRIVEWAYS IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.*
 - IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, ANY SOIL HAVING A pH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A pH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION.
 - THE CUMBERLAND/SALEM SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 72 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
 - AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND FOR BE FIT FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
 - IN THAT N.J.S.A. 4:24-39 ET SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY SHALL BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
 - CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.*
 - ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE CUMBERLAND/SALEM SOIL CONSERVATION DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NEW JERSEY SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
 - THE CUMBERLAND/SALEM SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
- * WHERE APPLICABLE.

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

SOIL COMPACTION TESTING REQUIREMENTS.

- SUBGRADE SOIL PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 - AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
 - COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
 - IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.
- COMPACTION TESTING METHODS.**
- PROBING WIRE TEST (SEE DETAIL)
 - HAND-HELD PENETROMETER TEST (SEE DETAIL)
 - TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
 - NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

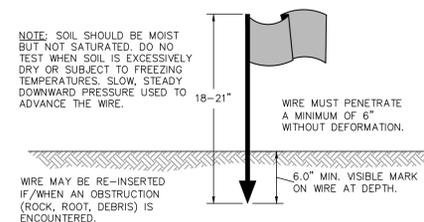
NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION.

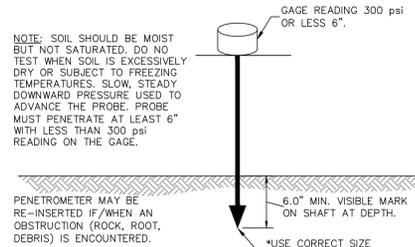
PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLE, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



**PROVING WIRE TEST
15.5 GA. STEEL WIRE (SURVEY FLAG)**

N.T.S.



**HANDHELD SOIL PENETROMETER TEST
N.T.S.**

CONSTRUCTION SEQUENCE

CONSTRUCTION SEQUENCE	ESTIMATED TIME
1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AND INSTALL SILT FENCE ROPE AND CONSTRUCTION FENCING.	2 DAYS
2. STRIP AND STOCKPILE TOPSOIL	1 DAY
3. BEGIN SITE DEMOLITION	2 DAYS
4. ROUGH GRADE THE SITE AREA.	3 DAYS
5. FULL CONSTRUCTION AND PERMANENT STABILIZATION OF THE RAIN GARDEN.	10 DAYS
6. INSTALL DRAINAGE SYSTEM	6 DAYS
7. INSTALL UNDERGROUND UTILITIES.	2 DAYS
8. CONSTRUCT CONCRETE CURBS, SIDEWALKS AND BUILDING SLABS.	15 DAYS
9. CONSTRUCT PAVEMENT BASE COURSE.	2 DAYS
10. BEGIN CONSTRUCTION. 4" TOPSOIL, SOD AND/OR SEED AND LANDSCAPE UPON COMPLETION.	5 DAYS
11. ADD REPLACEMENT SOILS AND SAND TO BASIN.	5 DAYS
12. CONSTRUCT PAVEMENT SURFACE COURSE AS REQUIRED.	2 DAYS

DUST CONTROL

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

- MULCHES** - SEE STANDARDS FOR STABILIZATION WITH MULCHES ONLY (P. 3.3.1).
- VEGETATIVE COVER** - SEE STANDARDS FOR: TEMPORARY VEGETATIVE COVER (P. 3.1.1), PERMANENT VEGETATIVE COVER (P. 3.2.1), AND PERMANENT STABILIZATION WITH SOD (P. 3.6.1).
- SPRAY-ON ADHESIVES** - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANODIC ASPHALT EMULSION	7 : 1	COARSE SPRAY	1,200
LATEX EMULSION	12.5 : 1	FINE SPRAY	235
RESIN IN WATER	4 : 1	FINE SPRAY	300

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN FLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

TEMPORARY SEEDING SPECIFICATIONS

- APPLY 10-20-10 FERTILIZER AT A RATE OF 500 LBS. PER ACRE OR 11 LBS. PER 1,000 SQ. FEET.
- APPLY LIMESTONE AT A RATE OF 3 TONS PER ACRE OR 90 LBS. PER 1,000 SQ. FT. FOR SANDY LOAM.
- APPLY ANNUAL RYEGRASS AT A RATE OF 40 LBS. PER ACRE OR 1 LB. PER 1,000 SQ. FT.
- APPLY MULCH AT A RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 LBS. PER 1,000 SQ. FT.
- USE CRIMPER TO ANCHOR MULCH AND PREVENT MULCH FROM BLOWING.

PERMANENT SEEDING SPECIFICATIONS

- APPLY FERTILIZER AND LIME IN THE SAME RATES AS DENOTED IN THE TEMPORARY SEEDING SPECIFICATIONS ABOVE.
- APPLY THE FOLLOWING "ECO-LAWN" SEED MIXTURE AT A RATE OF 5 LBS. PER 1,000 SQ. FT.:
 - SHEEP FESCUE
 - LIFFINE SLENDER FESCUE
 - NAVIGATOR CREEPING RED FESCUE
 - JASPER II CREEPING RED FESCUE
 - LONGFELLOW II CHEWINGS FESCUE
 - HARON HARD FESCUE
 - CHARIOT HARD FESCUE
- APPLY MULCH AND MULCH ANCHORING AS SPECIFIED IN THE TEMPORARY SEEDING SPECIFICATIONS ABOVE.

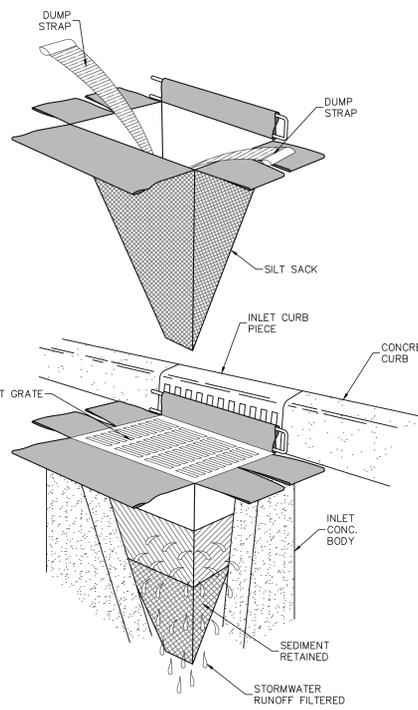
OPTIMUM SEEDING DATES: MARCH 1ST - MAY 15TH
AUGUST 15TH - OCTOBER 15TH

TEMPORARY & PERMANENT SEEDING PREPARATIONS

- WORK LIME AND FERTILIZER INTO SOIL WITH A DISC, SPRINGTOOTH HARROW, ETC.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DROP SEEDER, DRILL, CULTIPACKER ETC. INCORPORATE SEED INTO THE SOIL BY RAKING OR DRAGGING.
- MULCHING ON ALL NEWLY SEEDDED AREAS IS REQUIRED. MULCH MATERIAL SHOULD BE UNROTTED SMALL GRAIN HAY. SPREAD UNIFORMLY BY HAND OR MACHINE. MULCH ANCHORING TO BE LACED IMMEDIATELY AFTER MULCHING.

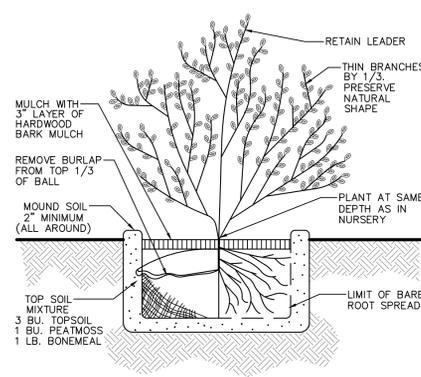
LANDSCAPING NOTES

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL PLANT MATERIALS ARE IN GOOD CONDITION AND FREE FROM INSECT AND DISEASE AT THE TIME OF PLANTING.
- ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY:
THE AMERICAN ASSOCIATION OF NURSERYMEN
230 SOUTHERN BUILDING
WASHINGTON, D.C. 20005
(202) 737 - 4060
- ALL PLANT MATERIAL NOT SURVIVING FOR A PERIOD OF TWO (2) YEARS SHALL BE REPLACED WITH THE SAME OR EQUIVALENT SIZE SPECIES.
- FOUR (4) INCHES OF TOPSOIL SHALL REMAIN ON ALL DISTURBED AREAS.



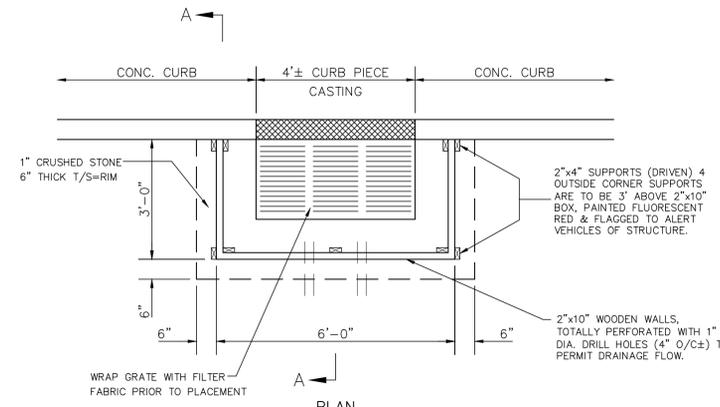
INLET PROTECTION WITH SILT SACK

N.T.S.



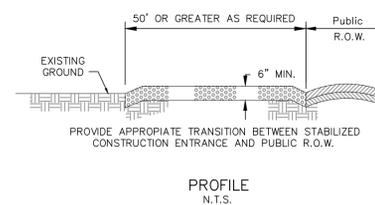
SHRUB PLANTING DETAIL

N.T.S.



TEMPORARY INLET PROTECTION

NOT TO SCALE



PROFILE

N.T.S.

DESIGN CRITERIA

STONE SIZE - USE ASTM C-33, SIZE NO. 2 OR 3. USE CRUSHED STONE. THICKNESS - NOT LESS THAN SIX (6) INCHES.

WIDTH - NOT LESS THAN FULL WIDTH OF POINTS OF INGRESS OF EGRESS.

LENGTH - 50 FEET MINIMUM WHERE THE SOILS ARE SANDS OR GRAVELS 100 FEET MINIMUM. WHERE SOILS ARE CLAYS OR SILTS, EXCEPT WHERE THE TRAVELED LENGTH IS LESS THAN 50 FEET OR 100 FEET RESPECTIVELY. THESE LENGTHS MAY BE INCREASED WHERE FIELD CONDITIONS DICTATE.

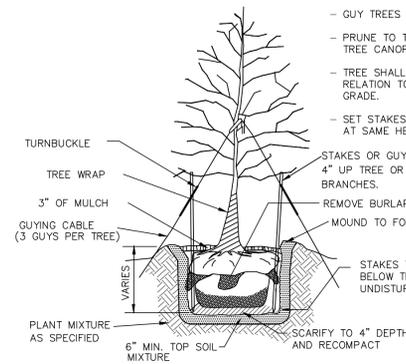
AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OF FILTER FABRIC SHALL BE INSTALLED BEFORE INSTALLING THE STABILIZED CONSTRUCTION ENTRANCE.

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

NOTES:

- STAKE TREES UNDER 3" CAL.
- GUY TREES 3" CAL & OVER.
- PRUNE TO THIN AND SHAPE TREE CANOPY.
- TREE SHALL BEAR SAME RELATION TO FINISHED GRADE.
- SET STAKES VERTICAL AND AT SAME HEIGHT.
- STAKES OR GUYS TO BE SET 4" UP TREE OR ABOVE FIRST BRANCHES.
- REMOVE BURLAP FROM TOP 1/3 OF BALL.
- MOUND TO FORM SAUCER.
- STAKES TO EXTEND 18" BELOW TREE PIT IN UNDISTURBED SOIL.



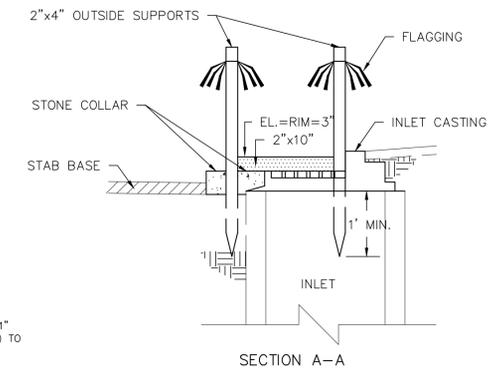
DECIDUOUS TREE DETAIL

ONLY ORIGINAL COPIES, CLEARLY MARKED WITH THE APPROPRIATE PROFESSIONAL'S EMBOSSED SEAL, SHALL BE CONSIDERED TO BE VALID COPIES.

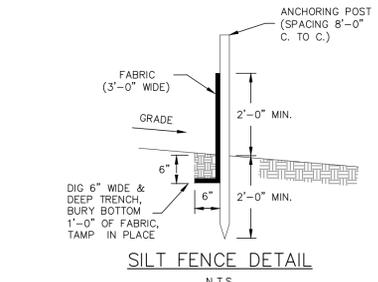
COPIES OF DOCUMENTS THAT MAY BE RELIED UPON BY THE OWNER ARE LIMITED TO PRINTED COPIES (ALSO KNOWN AS HARD COPIES) THAT ARE SIGNED AND SEALED BY BOSTON & SEEBERGER, P.C. FILES IN ELECTRONIC MEDIA FORMAT THAT ARE FURNISHED BY BOSTON & SEEBERGER, P.C. TO THE OWNER OR AT THE OWNERS REPRESENTATIVES REQUEST, ARE FOR THE CONVENIENCE OF THE OWNER. ANY CONCLUSION OR INFORMATION DERIVED FROM SUCH ELECTRONIC FILES WILL BE AT USER'S SOLE RISK.

ROBERT J. SEEBERGER, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE02786200

DATE 2-14-20

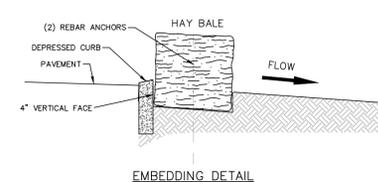


SECTION A-A

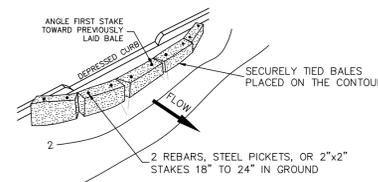


SILT FENCE DETAIL

N.T.S.



EMBEDDING DETAIL



**BALE SEDIMENT BARRIERS
PLACEMENT AND ANCHORING DETAIL**

N.T.S.

NO.	DESCRIPTION	DATE	DRWN BY	APPRV BY	RELEASED

LANDSCAPING AND SOIL EROSION CONTROL NOTES AND DETAILS

LOT 3 BLOCK 1901 SHEET 19

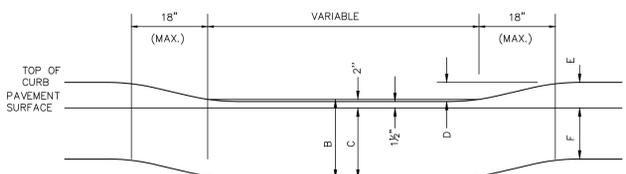
CURRY CONSTRUCTION

PENNSVILLE TOWNSHIP - SALEM COUNTY - NEW JERSEY

DESIGNED BY: R.J.S.
DRAWN BY: M.J.V.
CHECKED BY: D.E.B.
APPROVED BY: R.J.S.

DALE E. BOSTON, P.L.S. & P.P.
PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 32648
PROFESSIONAL PLANNER, N.J. LIC. NO. 4381

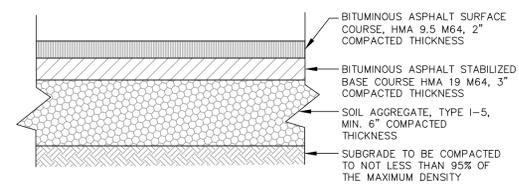
DATE 2/14/20



CURB SIZE	B	C	D	E	F
6"x8"x18"	18"	16"	4 1/2"	6"	12"

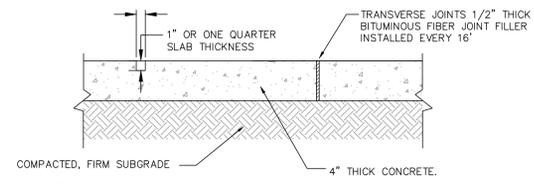
NOTE:
HANDICAPPED RAMPS TO MEET ALL ADA REQUIREMENTS/GUIDELINES.

DEPRESSED CURB DETAIL
NOT TO SCALE



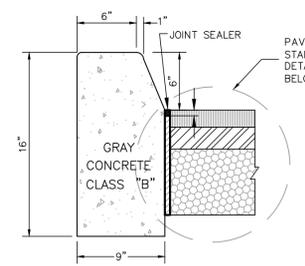
NOTES:
1. DUE TO CLAY SOIL CONDITIONS, AREAS OF THE ROADWAY MAY NEED TO BE UNDERCUT AND THE SOIL REPLACED WITH SUITABLE MATERIAL.

PARKING LOT PAVEMENT TYPICAL SECTION
NOT TO SCALE



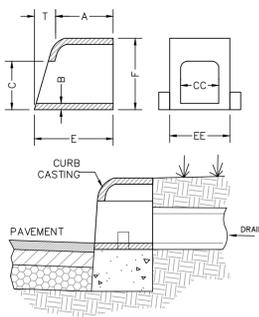
NOTES:
1. CONCRETE TO BE CLASS "B", 4,500 P.S.I. AT 28 DAYS, 5% AIR ENTRAINED.

CONCRETE WALK DETAIL
NOT TO SCALE



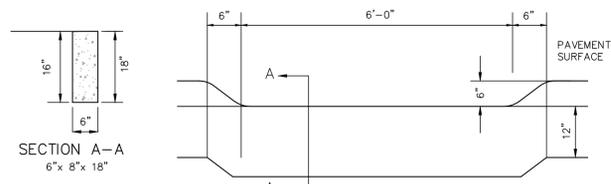
NOTES:
1. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH REQUIREMENTS FOR TYPE III FILLER IN A.A.S.H.T.O. SPEC. M-153, RECESSED 1/4" FROM FRONT FACE AND TOP OF CURB.
2. CONCRETE TO BE CLASS "B", 4,000 P.S.I. AT 28 DAYS, 5% AIR ENTRAINED.

CONCRETE CURB DETAIL
NOT TO SCALE

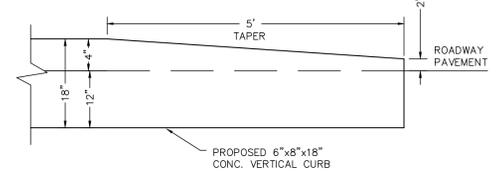


CAT. No	A	B	C	CC	E	E-E	F	T
R-3262-2	6"	1/2"	4"	4"	8 1/4"	5"	6"	2 1/4"

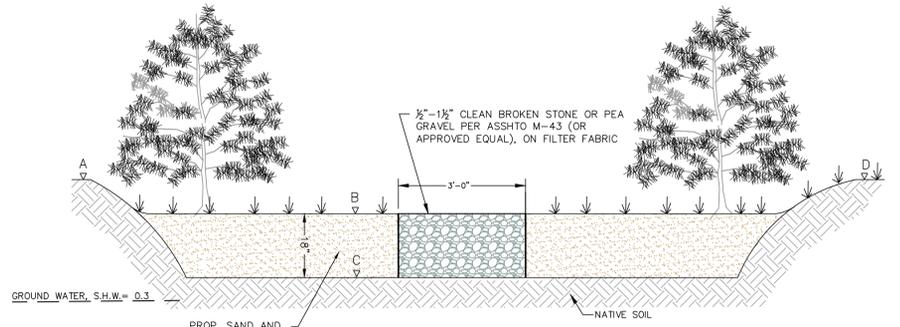
NEENAH FOUNDRY CURB OPENING DETAIL #3262-2
N.T.S.



DRAINAGE CURB OPENING DETAIL
NOT TO SCALE

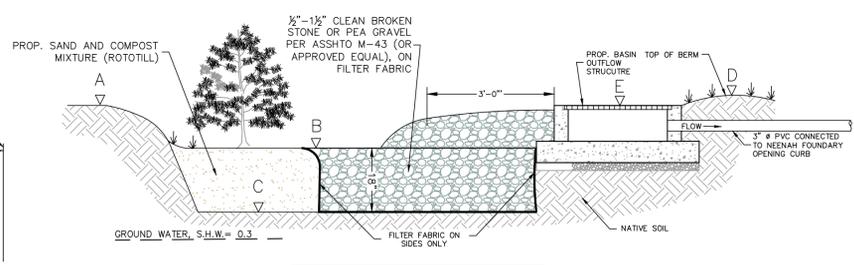


CURB TAPER AT CURB ENDS
NOT TO SCALE



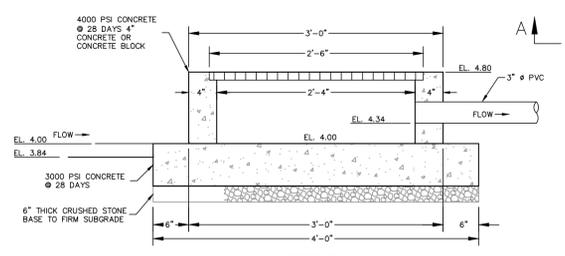
ELEVATIONS (▽)				
A	B	C	D	
4.84	3.84	2.34	5.20	

RAIN GARDEN -SECTION
N.T.S.

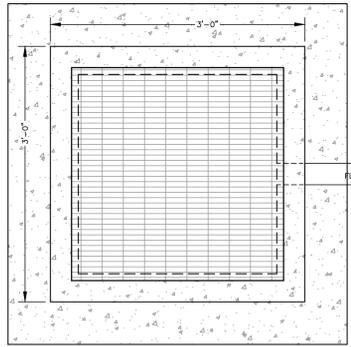


ELEVATIONS (▽)				
A	B	C	D	E
4.84	3.84	2.34	5.20	4.80

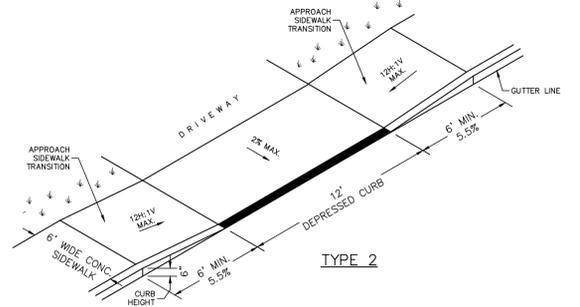
RAIN GARDEN OUTFLOW STRUCTURE-SECTION
N.T.S.



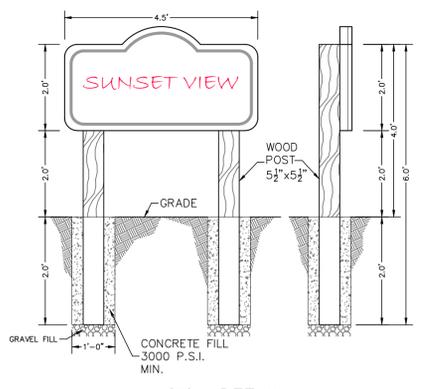
SECTION A - A
RAIN GARDEN OUTFLOW STRUCTURE DETAIL
N.T.S.



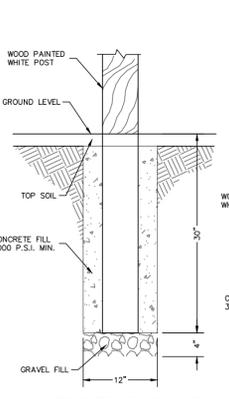
PLAN



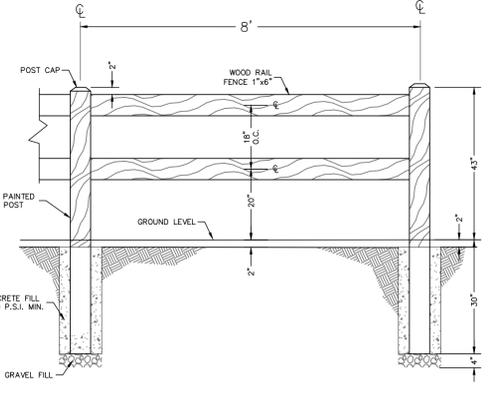
HANDICAPPED RAMP DETAIL
NOT TO SCALE



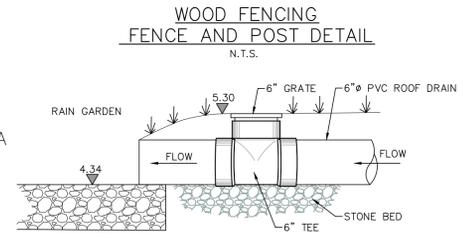
SIGN DETAIL
N.T.S.



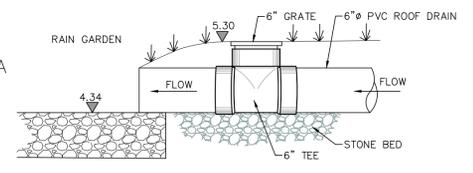
CORNER, END AND INTERMEDIATE POST DETAIL



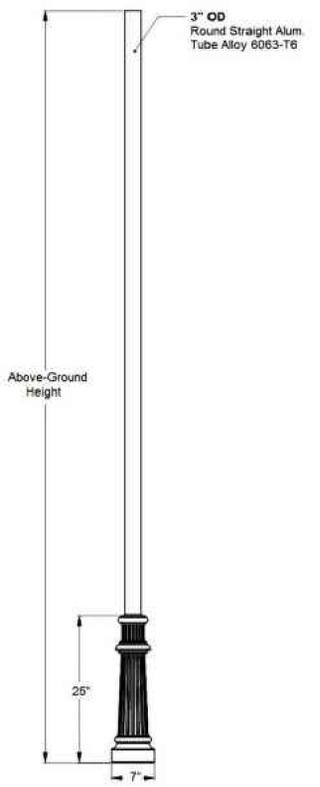
WOOD FENCE TO MATCH PARK FENCING



WOOD FENCING FENCE AND POST DETAIL
N.T.S.



DOWNSPOUT DRAIN OVERFLOW DETAIL
NOT TO SCALE



TYPICAL LIGHT POLE BASE
N.T.S.

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ROBERT J. SEEBERGER, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE02786200
Robert J. Seeberger DATE 2-14-20

NO.	DESCRIPTION	DATE	DRWN. BY	APPRV. BY	RELEASED
1.					

CONSTRUCTION DETAILS
LOT 3 BLOCK 1901 SHEET 19
CURRY CONSTRUCTION

PENNSVILLE TOWNSHIP -- SALEM COUNTY -- NEW JERSEY
DESIGNED BY: D.E.B.
DRAWN BY: M.J.V.
CHECKED BY: D.E.B.
APPROVED BY: R.J.S.
PROJECT NO: 4258
DRAWING NO: DETAILS
SCALE: N.T.S.
DATE: 2-14-20

DALE E. BOSTON, P.L.S. & P.P.
PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 32648
PROFESSIONAL PLANNER, N.J. LIC. NO. 4381
Dale E. Boston DATE 2/14/20